

Standard Home Inspection Report



Subject Property: Delray Beach, FL
File Number: 05-15-003

Status of Property: New Construction
Type of Property: Single Family Home
Square Footage: 12724 Gross ± SF (not verified)
Age of Home: 2004
Date of Inspection: 06/11/2004
Time of Inspection: **Start:** 9:00 AM **Finish:** 1:00 PM
Weather conditions today: 85° F, Partly Cloudy
Recent weather conditions: light showers

Inspection Attendees:

Pascal J. G. Liguori – Premier Estate Properties (Agency representing Buyer and Seller)
Anthony M. Nicolli – A.M. Nicolli Construction, Inc. - Builder
Norma Jean Jalovec – Sea-Tec Construction, Inc. – Inspector/Diver for Seawall & Dock
Craig P. Milliken, PE – CPM Real Estate Inspections, Inc. – Home Inspector

Scope of this Inspection Report

This Home Inspection Report describes items that were inspected on the Subject Property and contains the common elements found in most homes that the Home Inspection Industry recommends to be covered in a Standard Home Inspection.

If a checklist item is noted as a concern to the inspector, that line item is **highlighted in red** and further described in the comments within that section. Additional explanations and useful information are provided in the **Summary, Photos & Notes** section at the end of this report. Cost estimates included in this report assume that Licensed Professional Trades perform the work.

It is not the intent of this report to assign responsibility to either the buyer or the seller to make the repairs or modifications to items that this report may identify as a concern. Please contact your Real Estate Agent or Attorney for guidance in this area.

This Standard Home Inspection Checklist, Summary Report, Notes and Photos may not address every problem that may exist with this property at the time of the inspection. **CPM Real Estate Inspections, Inc. makes no warranty that there are no other defects with the property.**

Any questions about the information contained in this report should be referred to the Inspector for clarifications. Please call (561) 866 9956 or contact the inspector by e-mail at info@real-estate-inspections.com for a prompt reply to your questions.

EXTERIOR ROOFING COMPONENTS		SECTION 101
TYPE OF ROOF AND ROOFING MATERIALS: Hip roof with barrel shaped concrete tiles		
ITEMS INSPECTED		CONCERNS
DAMAGE OR MISSING TILES, SHINGLES, FELTS OR MEMBRANES		YES
TREES BRANCHES TOUCHING ROOF STRUCTURE		NO
EVIDENCE OF PATCHING OR REPAIRS		NO
UNPROFESSIONAL ROOFING REPAIRS		NO
BLISTERING, SHRINKAGE, CRACKING OR DE-LAMINATION OF ROOFING MATERIALS		NO
EVIDENCE OF WATER PONDS ON FLAT SECTIONS		NO
WAVY RIDGES OR FIELDS		NO
INCORRECT FLASHING AROUND SKYLIGHTS, VENTS OR STACKS		NO
FASCIA TRIM BOARD DAMAGE BY WOOD DESTROYING ORGANISMS		NO
MISSING OR DAMAGED ATTIC VENTILATION VENTS OR DEVICES		NO
INSUFFICIENTLY SIZED OR BLOCKED VENTILATION OPENINGS		NO
TORN OR DAMAGED VENT SCREENING		NO
IMPROPERLY SLOPED GUTTERS		none installed
GUTTERS AND LEADERS CLOGGED WITH DEBRIS		N/A
INSECURELY FASTENED, DAMAGED OR MISSING GUTTER OR LEADER SECTIONS		N/A
LEADERS TERMINATE TOO CLOSE TO HOME		N/A
RAINWATER RUNOFF FROM ROOF NOT CHanneled AWAY FROM ENTRANCES		NO
Comments:		
<p>This roof appears to be professionally installed.</p> <ul style="list-style-type: none"> • There are some cracked roofing tiles that should be mended with roofing mastic to keep the broken pieces in place. (see photos) • Some roofing material debris was left under an eave over the 3rd floor. The debris should be removed 		

INTERIOR ROOFING COMPONENTS		SECTION 102
ITEMS INSPECTED	CONCERNS	
INADEQUATE ATTIC AREA INSULATION		NO
HURRICANE STRAPS MISSING OR NOT NAILED PROPERLY		NO
DAMAGED SHEATHING		NO
DAMAGED OR MODIFIED ROOF TRUSSES		NO
MOISTURE OR WATER STAINS NOTED IN ATTIC AREA		NO
EVIDENCE OF VERMIN IN ATTIC AREA		NO
EVIDENCE OF TERMITES OR OTHER WOOD DESTROYING ORGANISMS IN ATTIC AREA		NO
Comments:		
<p>This roof appears to be professionally installed. Icynene foam insulating material has been sprayed on the underside of the roof sheathing. This premium insulation material should substantially decrease the cost of cooling the home.</p> <p>Not all areas of the attic could be accessed to inspect</p>		
SITE, STRUCTURE, FOUNDATION AND CONCRETE SLABS		SECTION 103
TYPE OF BUILDING STRUCTURE: Concrete block and painted stucco		
SITE ELEVATION IN RELATION TO SURROUNDING AREA	HIGHER	SAME LOWER
POTENTIAL FOR FLOODING OF STRUCTURE	HIGH	AVERAGE LOW
Note: All homes located on inter-coastal waterways are susceptible to storm surge during hurricane conditions. Seek inland shelter as directed by local authorities.		
ITEMS INSPECTED	CONCERNS	
EVIDENCE OF PREVIOUS FLOODING ON SITE		NO
INADEQUATE SITE GRADING AWAY FROM ENTRANCES TO HOME OR GARAGE		NO
INADEQUATE SITE GRADING AWAY FROM PATIOS, WALKWAYS AND POOL DECK		NO
CRACKING OR DISPLACEMENT OF STRUCTURAL WALLS		NO
INSUFFICIENTLY SUPPORTED FLOORING OR WALLS		NO
INADEQUATE SUB FLOOR VENTILATION		NA
CRACKING OR DISPLACEMENT OF PERIMETER FOUNDATION/FOOTER		NO
CRACKING OR DISPLACEMENT OF CONCRETE SLABS		NO
Comments:		
<ul style="list-style-type: none"> Minor crack noted in front step is a cosmetic issue and does not appear to be a structural problem. Minor cracks, under floor tiles at third floor balcony door thresholds are cosmetic issues. The floor tiles are secure. (see photo) 		

WINDOWS, EXTERIOR DOORS, OPENINGS AND SCREENING		SECTION 104
ITEMS INSPECTED	CONCERNS	
BROKEN WINDOW GLAZING, FRAMES, LOCKS OR OPENING MECHANISMS		NO
MISSING OR DAMAGED WINDOW SCREENS		NO
BROKEN OR DAMAGED EXTERIOR DOORS, LOCKS, HANDLES OR HINGES		NO
BROKEN OR DAMAGED STORM SHUTTERS		none installed
DAMAGED WEATHER STRIPING AROUND EXTERIOR DOOR JAMBS		NO
MISSING OR DAMAGED PATIO AREA SCREENING OR SCREEN DOORS		none installed
DAMAGED GARAGE DOOR SECTIONS, TRACK, ROLLERS OR WEATHER STRIPING		NO
INOPERATIVE GARAGE DOOR OPENERS OR ELECTRIC-EYE SAFETY MECHANISMS		NO
Comments:		
All exterior elements appear to have been professionally installed		
INTERIOR CEILINGS, WALLS, STAIRWAYS, FLOORS, DOORS, TILE AND MILLWORK		SECTION 105
ITEMS INSPECTED	CONCERNS	
WATER DAMAGE OR STAINS ON CEILINGS, WALLS OR FLOORS		NO
LOOSE STAIRS, TREADS, RAILINGS OR BALUSTERS		NO
DOORS, HINGES, LATCH/LOCK MECHANISMS NEEDING ADJUSTMENT OR REPAIR	YES	
CABINETS, SHELVES AND DRAWERS NEEDING ADJUSTMENT OR REPAIR	YES	
BROKEN OR LOOSE TILES ON FLOORS OR WALL		
Comments:		
All interior elements appear to have been professionally installed and in good condition except for the following minor concerns:		
<ol style="list-style-type: none"> 1. SE 2nd floor guest bedroom door binds at top. Needs adjustment 2. Top lock bolt misaligned in master bedroom entrance door. Needs adjustment 3. Roller latches missing on "His & Her" master bedroom closets. 4. Cabinet door left of sink in "His" master bathroom binds at bottom. Needs adjustment 5. Hinge pins on several interior doors need to be aligned 		

AIR CONDITIONING AND HEATING SYSTEM		SECTION 106
This home has six split type A/C systems totaling 23.5 Tons of cooling capacity		
EVAPORATOR / AIR HANDLER SECTION		
ITEMS INSPECTED	CONCERNS	
DIRTY OR INADEQUATE AIR FILTER ASSEMBLIES		NO
CONDENSATE DRAIN PIPING NOT PROPERLY PITCHED OR INSULATED		NO
ELECTRICAL DISCONNECT NOT WITHIN LINE OF SITE AND EASILY ACCESSIBLE		NO
EXCESSIVE FAN NOISE OR VIBRATION FROM UNITS		NO
HOUSING OR SYSTEM DUCTWORK NOT AIR TIGHT OR CRUSHED		NO
SYSTEM COOLING CAPACITY DESIGN - NOT SUFFICIENT FOR SIZE OF HOME		NO
THERMOSTAT AND CONTROLS NOT FUNCTIONING PROPERLY		NO
CONDENSING UNIT / COMPRESSOR SECTION		
ITEMS INSPECTED	CONCERNS	
INSTALLATION OF UNITS NOT LEVEL AND SECURE		NO
EXCESSIVE COMPRESSOR OR FAN MOTOR NOISE OR VIBRATIONS		NO
INADEQUATE VENTILATION AROUND UNITS DUE TO BRUSH OR STRUCTURES		NO
CONDENSING COILS DIRTY OR FOULED WITH DEBRIS		NO
ELECTRICAL DISCONNECTS NOT WITHIN LINE OF SITE AND EASILY ACCESSIBLE		NO
SUCTION LINE PIPING NOT INSULATED PROPERLY		NO
PIPING PENETRATIONS INTO HOME NOT SEALED TO PREVENT PEST INTRUSIONS		NO
Comments:		
<p>All A/C systems appear to be professionally installed and functioning properly.</p> <p>It is not required by building code to have water level detection/shut-off switches in the secondary condensate water drain lines for all air handlers; however, it is recommended that the air handlers be fitted with such devices as a precaution against fouling of the drain lines and a subsequent overflow of condensate water inside the home. The air handler over the game room bar is fitted with such a device (see photo). These devices shut off the system if the primary drain line is clogged, prevent potential overflows and alert the owner that there is a need to service the unit. Clogged drain lines are a common problem and can cause significant water damage if the secondary drain line also fails. The devices are inexpensive to install (approximately \$ 150 each) and can help avert potential water damage within the home.</p> <p>Your builder is informed of this recommendation.</p>		

ELECTRICAL SERVICE AND BRANCH CIRCUITS		SECTION 107
LOCATION AND TYPE OF SERVICE ENTRANCE: west side of home – underground service entrance		
LOCATION OF DISTRIBUTION PANELS: garage area - there are four panels		
ITEMS INSPECTED	CONCERNS	
SERVICE ENTRANCE WIRES NOT PROPERLY PROTECTED		NO
SIZE OF SERVICE NOT ADEQUATE FOR SIZE OF HOME		NO
LOOSE LUGS OR WIRE CONNECTIONS IN PANELS		NO
IMPROPER USE OF DOUBLE TAPS AT BREAKERS		NO
GROMMETS MISSING AT PANEL KNOCK OUTS		NO
COVER PLATES OR BLANK-SPACE PLATES MISSING IN PANELS		NO
CIRCUIT DIRECTORIES NOT ADEQUATELY PROVIDED INSIDE DOORS OF PANELS		NO
INADEQUATE OR LOOSE GROUND CONNECTION		NO
EXPOSED BRANCH CIRCUIT WIRING NOTED		NO
LOOSE JUNCTION BOXES FOR SWITCHES OR CONVENIENCE OUTLETS		NO
AFCI CIRCUIT BREAKERS OR OUTLETS DO NOT TEST PROPERLY		NA
CONVENIENCE OUTLETS DO NOT TEST PROPERLY		NO
EXTERIOR OUTLETS NOT ON GFI CIRCUITS OR TEST PROPERLY		NO
KITCHEN OUTLETS NEAR WATER SOURCE NOT ON GFI CIRCUITS OR TEST IMPROPERLY		NO
BATHROOM OUTLETS NEAR WATER SOURCE NOT ON GFI OUTLETS OR TEST IMPROPERLY	YES	
CEILING FANS NOT FUNCTIONING PROPERLY	YES	
Comments:		
<p>Overall the electrical system appears to be professionally installed and operating properly. You have a low voltage lighting control system located in the 2nd floor laundry room with remote control panels for lighting and fans located throughout the home.</p> <p>The following minor items were noted that need attention:</p> <ol style="list-style-type: none"> 1. Ceiling fans over the rear patio area did not function. 2. GFI convenience outlet in "His" master bathroom did not test properly. <p>Your builder is informed of these issues.</p> <p>The intercom/speaker system was not tested. There was no radio installed. Your builder should demonstrate this equipment to the buyer.</p>		

PLUMBING AND WATER FIXTURES		SECTION 108
SOURCE OF POTABLE WATER: City Water TYPE OF SEWER CONNECTION: City Sewer		
LOCATION OF WATER SUPPLY SHUT-OFF VALVE: south side of home – see photo		
ITEMS INSPECTED	CONCERNS	
INADEQUATE PRESSURE OR WATER FLOW AT FIXTURES		NO
FROZEN SERVICE VALVES UNDER SINKS	not checked	
Opening old service valves may cause them to leak. We do not test them and recommend that you not do so either unless you are knowledgeable about how to repair or replace them. We recommend that you use the main water shut off valve to the home as an alternative if you need to repair or replace a faucet.		
SIGNS OF LEAKS OR CLOGGED DRAINS		NO
BROKEN OR LEAKING FIXTURES		NO
BATHROOM SINKS NOT SECURELY FASTENED OR FUNCTIONING PROPERLY		NO
TOILETS NOT SECURELY ANCHORED OR FUNCTIONING PROPERLY		NO
DEFECTIVE SHOWER, SPA OR TUB WATER FIXTURES		NO
BATHROOM SPAS NOT FUNCTIONING PROPERLY		NO
DEFECTIVE OR MISSING MISCELLANEOUS FIXTURES		NO
Comments:		
<p>All plumbing and fixtures appear to be professionally installed and in good condition.</p> <p>Both bathtub SPAS and steam room were tested and appeared to be functioning properly.</p>		
HOT WATER SYSTEM		SECTION 109
TANK LOCATION: garage area CAPACITY: 98 gallons (gas fired)		
ITEMS INSPECTED	CONCERNS	
PRESSURE RELIEF VALVE AND WATER LINE CONNECTIONS NOT INSTALLED PROPERLY		NO
RELIEF VALVE DISCHARGE NOT TERMINATED TO A SAFE AND VISIBLE LOCATION		NO
Comments:		

MAJOR HOME APPLIANCES		SECTION 110
DEVICES INSPECTED	CONCERNS	
CLOTHES WASHER – TWO UNITS		
DEVICE NOT FUNCTIONING PROPERLY		NO
CRACKED OR DAMAGED HOSE CONNECTIONS		NO
CLOTHES DRYER – TWO UNITS		
EXHAUST DUCT CRUSHED OR NOT SECURE		NO
DEVICE NOT FUNCTIONING PROPERLY		NO
REFRIGERATOR/FREEZER/ICEMAKER + UNDER COUNTER REFRIGERATED TRAYS & BAR UNITS		
DOORS SEALS NOT TIGHT		NO
ICE MAKER NOT INSTALLED OR NOT FUNCTIONING		NO
EXCESSIVE FROST BUILD UP		NO
DEVICE NOT FUNCTIONING PROPERLY		NO
DISHWASHER – TWO UNITS		
MISSING OR DEFECTIVE PARTS	YES	
FAULTY SEALS OR EVIDENCE OF LEAKS		Devices not tested. See comments
DOES NOT DRAIN PROPERLY		
DEVICE NOT FUNCTIONING PROPERLY		
SINK DISPOSALS		
DEVICES NOT FUNCTIONING PROPERLY		NO
STOVE, OVEN, BROILER		
STOVETOP BURNERS NOT FUNCTIONING PROPERLY		NO
OVEN BURNERS NOT FUNCTIONING PROPERLY		not tested
BROILER ELEMENT NOT FUNCTIONING PROPERLY		not tested
EXHAUST HOOD NOT FUNCTIONING PROPERLY		NO
MICROWAVE		
DEVICE NOT FUNCTIONING PROPERLY		NO
OUTSIDE GAS GRILL		
DEVICE NOT FUNCTIONING PROPERLY		NO
CENTRAL VACUUM SYSTEM –TWO UNITS		
DEVICES NOT FUNCTIONING PROPERLY		NO
Comments:		
<p>All installed appliances appear to be professionally installed and operating properly.</p> <ul style="list-style-type: none"> The drain line for the dishwasher left of the kitchen sink was not connected. Both units need to be demonstrated after this omission has been resolved. The kitchen oven and broiler elements were not tested due to packing materials and manuals inside the oven compartment. These features should be demonstrated to the buyer by the builder. 		

WALKWAYS, LANDSCAPE AND IRRIGATION SYSTEM		SECTION 111
ITEMS INSPECTED	CONCERNS	
DAMAGED OR MISALIGNED PAVERS IN PATIOS OR WALKWAYS		NO
DEAD OR STRESSED TURF OR PLANTINGS		NO
IRRIGATION SYSTEM SOURCE OF WATER: city water connection		
IMPROPER OR MISSING BACKFLOW PREVENTION DEVICE		NO
DEFECTIVE TIMER/CONTROLLER		NO
EVIDENCE OF INADEQUATE COVERAGE OR OPERATING PRESSURE		NO
DEFECTIVE PUMP, PIPING, VALVES OR SPRINKLER HEADS		NO
Comments:		
The sprinkler system appears to have been professionally installed and operating properly.		

POOL, SPA, WATERFALL AND EQUIPMENT		SECTION 112
ITEMS INSPECTED	CONCERNS	
POOL HEATER NOT FUNCTIONING PROPERLY		NO
POOL DECK DEFECTS OR DECK NOT SLOPED PROPERLY AWAY FROM POOL		NO
EVIDENCE OF LEAKS OR CRACKS IN POOL BASIN Note: Hidden leaks in a pool/spa basin or associated underground piping can usually only be detected or verified by closely monitoring the water level over several days.		NO
The pool, SPA and waterfall features are managed by a programmable controller that appears to be professionally installed and operating properly.		

FIRE SPRINKLER SYSTEM/EQUIPMENT		SECTION 113
ITEMS INSPECTED	CONCERNS	
RISER AND TEST STATION		NO
Comments: This system needs to be inspected and tested annually by a service company		

ELEVATOR AND EQUIPMENT		SECTION 114
Comments: The elevator appears to be professionally installed and operating properly. These devices need to be inspected annually by a service company.		

Summary – Photos & Notes

Overall Evaluation: Overall this home appears to have been constructed with premium materials and professional workmanship throughout. There were only a few minor issues that need follow-up. The items in the list below are described in detail in the comments sections of the preceding checklist and shown in photos following this summary page.

1. Several roofing tiles are damaged and should be mended with roofing mastic to keep the pieces in place.
2. Some roofing material debris needs to be removed from under an eave on the north 3rd floor section of the roof.
3. Top of door to 2nd floor SE bedroom binds and needs adjustment.
4. Lock pin on top of master bedroom entrance door not aligned properly.
5. Cabinet door in "His" master bathroom needs adjustment.
6. Roller latches missing on master bedroom closet doors.
7. Overflow detection/shut-off switches should be considered in all air handlers.
8. Ceiling fans over rear patio area not functioning.
9. GFI receptacle in "His" master bathroom did not test properly.
10. Left side dish washer not connected to drain line.

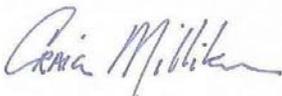
The dock and seawall were inspected by Sea Tec Construction. A verbal report was given on Friday 06/11/04 that all elements are secure and in good condition. The written report will be forwarded to the client when it is completed.

Photos and notes follow this section and contain additional information.

Reasonable effort was made to view all safely accessible areas of this home. Concealed items cannot normally be inspected without using invasive procedures or special testing equipment that is beyond the scope of this type of general inspection. This Standard Home Inspection Report may not address every problem that may exist with this property at the time of this inspection. **CPM Real Estate Inspections, Inc. makes no warranty that there are no other defects with this property.**

If anyone would like to discuss anything contained in this report, please call me at (561) 866 9956.

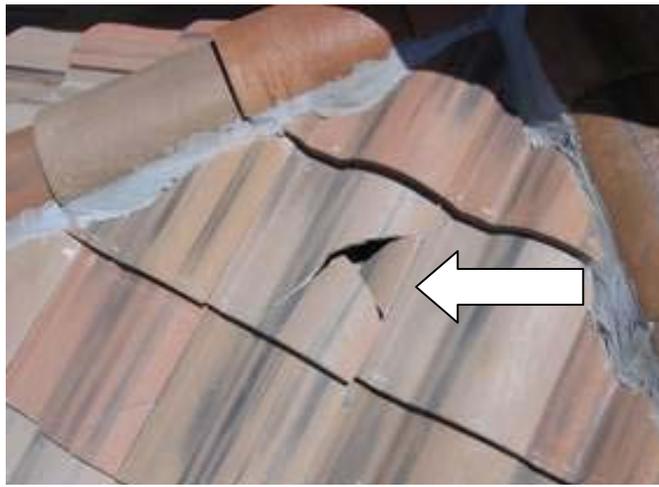
Thank you for choosing CPM Real Estate Inspections, Inc.



Craig Milliken, PE
CPM Real Estate Inspections, Inc.



The roof appears to have been professionally installed.



Several cracked roofing tiles need mending.



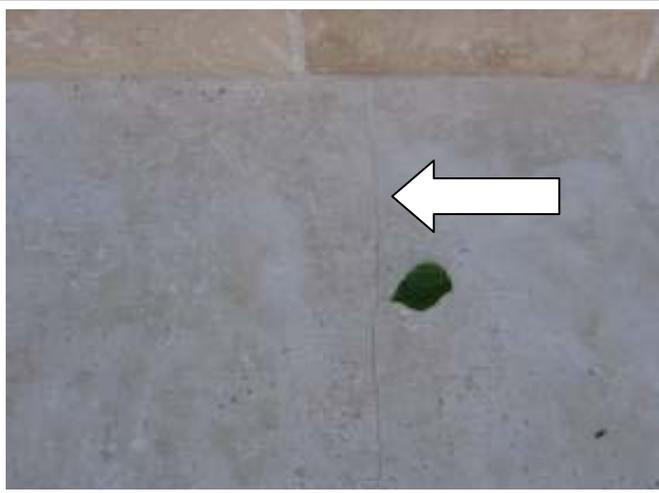
Roofing material debris should be removed.



Minor cracks in the mortar securing these floor tiles do not appear to be a problem. The tiles are secure in all areas.



The dock and seawall appear to be in good condition. See separate report document from Sea-Tech Construction.



Minor crack in front door step is a minor cosmetic issue and not a serious defect.



Cabinet door binds at the bottom in "His" master bath.

Only a few other minor adjustments are needed in some doors in the home. Overall workmanship appears to be excellent.



All columns, railings, doors and finishes appear to be professionally installed and secure.



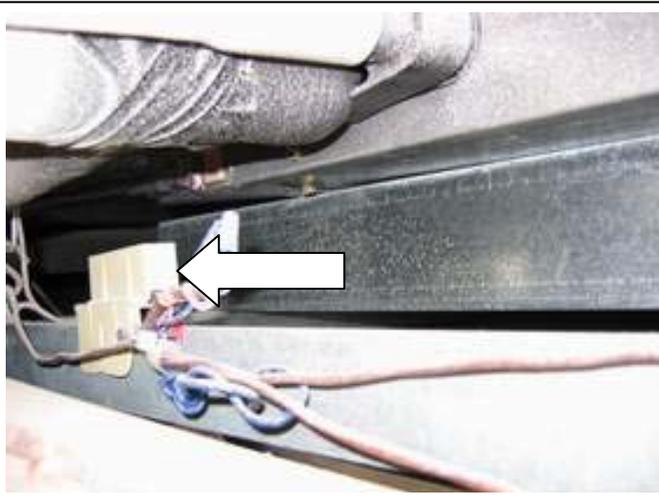
Icynene insulating foam has been placed under all roofing for superior insulating qualities.



The air conditioning systems all appear to be professionally installed and operating properly.



It is recommended that water level detection/shut-off switches be placed in the secondary drain lines of all air handlers.



The air handler located over the bar in the game room has a shut-off switch in the pan. It is preferable to install such a switch in the secondary drain line.



A key for this lock needs to be provided to the owner to access and service the main electrical disconnect.



The electrical system appears to be professionally installed and operating properly.



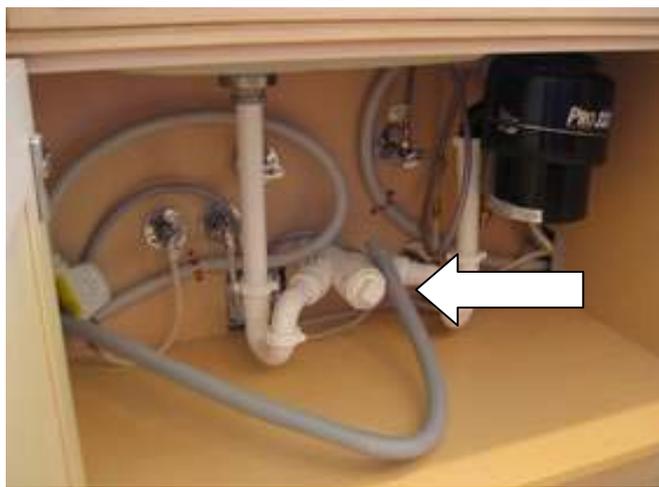
This home is equipped with a programmable low voltage control panel for energy management and security features.



The hot water tank is equipped with a timer for energy management.



The main water shut-off valve to the home is located on the south side near the A/C condensing units.



This grey drain line to the left dishwasher needs to be connected to the plumbing under the kitchen sink.



Both bathroom SPAS were checked for ground fault circuit protection. Both tested properly.



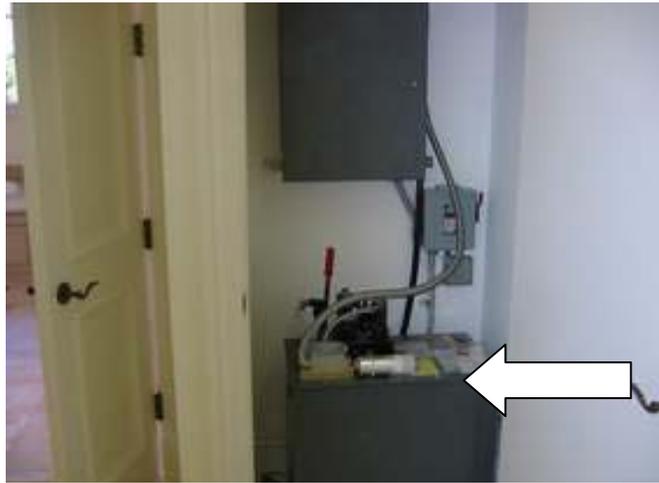
The SPA in "Hers" master bathroom appears to be functioning properly but has features that need to be checked and verified in the operation manual.



All appliances appear to be functioning properly.



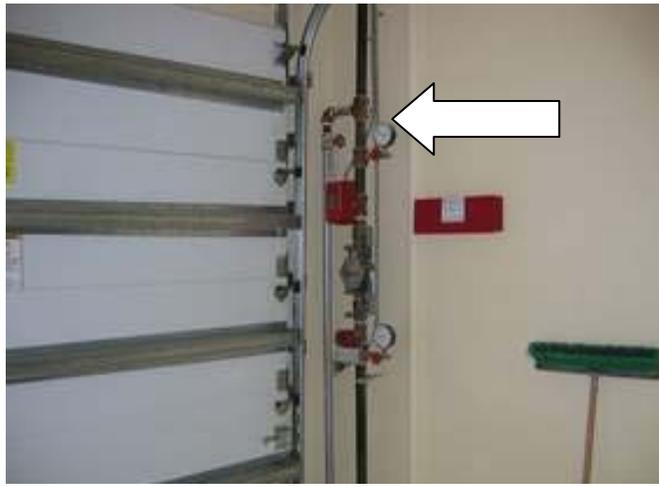
The steam room was tested and appears to be functioning properly.



The elevator and equipment all appear to be professionally installed and operating properly.



The pool, waterfall and SPA all appear to be professionally installed and operating properly.



The fire sprinkler system may help lower insurance costs for the home.



The fire sprinkler system should be tested annually by the company that installed it.
Here is the number to call.



Trees, turf and plantings all appear to be in good condition.